

CLEARWATER'S COVE RESIDENTIAL DEVELOPMENT

REVISED - 30 JUNE 2022

INTRODUCTION

This revised policy is aimed at protecting the investment value for home owners by describing a minimum design requirement to be achieved by architects and home owners during the building process. The aim is not to introduce any specific theme, but rather to describe minimum criteria to prevent sub-standard design and construction, whilst allowing individuality and freedom of form and design. The objective is to establish a guideline for quality assurance based on the understanding of the conditions specific to this development, its unique climate and topography, by providing a guide for responsible design and detailing.

Clearwater's Cove Practical Design Considerations

1. Clearwater's Cove is a beautiful, secure, safe, accessible estate in a highly attractive area. Your home here should be a sound investment if it is designed aesthetically, for the prevailing physical conditions and with long term maintenance in mind.
2. Topography
 - a. Generally, the sites are on **sloping ground** and it is essential that your designer ensures that you **balance your cut and fill** when constructing the terrace on which your house is to be built. Any excess spoil or imported is costly and difficult to move.
 - b. The CWCHOA will additionally levy a charge on any spoil or imported fill transported on the CWC roads in order to protect that asset.
 - c. Your designer should also ensure that **slopes of driveways and access** to garages are kept to a practical minimum.
3. Wind
 - a. Many of the sites are subject to **heavy winds** at times. The predominant wind direction is Northwest but that sometimes blows in the opposite direction.
 - b. Walls facing east are subject to rain almost coming horizontal and most houses have had severe damp penetration problems as a result of this driving rain.
 - c. Your designer should preferably **avoid open patios** as cold weather, rain, mist and wind restricts the use of such patios for a very high percentage of the year.
4. Climate
 - a. Clearwater's Cove is often cold, misty, rainy and windy. You are advised to consider significant insulation of your home. That will keep you warm without a great deal of energy usage and make your home very comfortable.
 - b. Your house will be exposed to a great deal of moisture that attracts algae especially on the eastern face.

5. Design recommendations

- a. Focus on quality and not quantity. Make your house smaller with a focus on the following issues and you will live here happily and comfortably and you will protect your investment..
- b. Insulation
 - i. Consider the installation of **double-glazed windows**.
 - ii. Build **cavity walls with insulation** between the two brick skins.
 - iii. Install **insulation below your floor slabs**.
 - iv. Install **insulation above your ceilings**.
 - v. Consider external shutters to your windows particularly on the east and west sides.
 - vi. Vinyl or similar floor coverings are attractive warm and long lasting. Tiled floors are cold. Give this some thought.
- c. Heating
 - i. Install a **combustion type stove** in your living areas that is properly sized for the space that is to be warmed. They are energy efficient and wattle firewood is readily available in the area.
 - ii. Do not install underfloor heating. Expensive to run and highly impractical under current electrical supply issues.
 - iii. Get as much **north light** into your house as possible. That will greatly assist in you having a sunny and warm home.
 - iv. If you really want a **swimming pool**, then make sure you can heat the water and have the pool in a wind protected sunny spot.
- d. **Water Penetration**
 - i. **Avoid flat slabs** as they have presented a great deal of water problems over the years. Where you have small flat slabs that link parts of the house, ensure that these slabs are properly waterproofed by professionals.
 - ii. **Focus on the correct installation of damp proof course**. Where you have walls that are to retain soil, ensure that they are properly sealed vertically and that any damp/ moisture can be diverted.
 - iii. **Obtain professional advice on painting**. You will save a great deal in future years.
 - iv. Your designer should look at directing **stormwater** so that you do not damage the slopes around your (and your neighbour's house)
 - v. **Avoid** the use of **timber** door and window frames due to maintenance issues
 - vi. While tiles are permitted you should consider a good Chromadeck or similar roof. These have proven to be far better at handling water penetration.
- e. Most sites have a **great view**. Ensure that your designer maximises your aspect of the view. There are several examples of this not being done.

f. Erratic Electricity Supply.

- i. You must make provision for standby or preferably own-supplied power to your home. Tzaneen Municipal power supply is erratic and is compounded by Eskom load shedding.
- ii. Solar power solutions work very well. Permanent solar supply will protect your sensitive electronic equipment and give you continuity of internet access.
- iii. Install a solar geyser that can be heated by electricity on damp cold days. You could also consider heat pumps.
- iv. Install gas stoves (essential) and gas oven (recommended)

AESTHETIC AND BUILDING RULES AND REQUIRMENTS

PROFESSIONAL REQUIREMENTS

All Buildings need to be designed by a Clearwaters Cove HOA approved Architect. All buildings will be required to be designed by a professional architect, registered with the South African Council for the Architectural Profession (SACAP), who will clearly indicate his/her registration number on every drawing submitted for approval.

It is further mandatory that should an architects not be appointed for their full scope of work, including all work stages related to the construction process in order to ensure continued professional supervision over the project, the Home Owner takes full responsibility for the project.

No deviation from the approved plans and detailing will be allowed during construction.

It is also mandatory that all projects be conducted by making use of the JBCC Minor Works Agreement or The JBCC Principal Building agreement, available from the Limpopo Institute of Architects.

All architects shall also advise their clients of the need to appoint a professional structural engineer, who shall produce the required structural designs and drawings pertaining to foundations, reinforced concrete retaining walls, loadbearing concrete and steel structures and any such designs of a structural nature as may be required and which fall outside of the scope and expertise of the architect.

Architect Approval

The following is to be submitted accompanied by the completion of the application for approval CWC Architect - Annexure 1.

- Proof of current registration with the SACAP.
- A CV which shows work portfolio and current work no later than 3 months prior to submission.
- Three testimonials from the last 3 clients.

The CWC Aesthetic committee will indicate with in 14 days of a suitable date for an in-person presentation to the committee, to be held within 100 km of the Estate.

This will be held within 14 working days thereof.

The Architect will be informed with in 14 working days of their acceptance by CWC to be on their approved list of Architects.

The Administrative Process

Once your architect has produced the first, agreed, sketch of your home, this sketch is to be submitted to the Estate Offices electronically with the following documents;

Annexure 2	Signed acceptance of the CLEARWATER'S COVE RESIDENTIAL DEVELOPMENT AESTHETIC AND BUILDING POLICY 2022 – By Home Owner and Architect
Annexure 3	Engineers appointment letter.

SUBMISSIONS AND APPROVALS

Plans for new buildings shall be submitted to the Clearwater's Cove Project Architect for approval in accordance with this guideline. Owners are advised to submit plans at concept design stage in soft copy format for first approval as soon as the design has been finalised, but before technical drawings are compiled. This will ensure that no unnecessary work is being done to produce technical drawings for designs that may not be accepted. Once the technical drawings have been completed and before submission to the Tzaneen Local Authorities the Estate Architect needs to stamp these with the Estate Approval stamp.. All drawings submitted to the Tzaneen Local Authority need to carry the approval stamp from the Clearwater's Cove Project Architect.

The Administrative Process

The following is to be submitted to the Estate Offices in hard copy and electronically (On a flash drive)

- Presentation document.

- To include 3D rendered presentation of project.

- 4 sets of full plans

- Plans must be sorted in sets.

- Engineers Cut and fill plan indicating, if any, quantities of imported fill or exported spoil, as well as where spoil is to be spoilt.

- Final Garden layout plan.

- Detailing correct and properly prescribed.

Submissions are to be in on the first Wednesday of a month

All documents are uploaded onto the Estate Customer Relationship Management system by the first Friday of a month

Each Committee member will get an automatic notification and have 14 days to approve or disapprove.

The Committee meets once a month.

Submission is then collated by office.

Feedback time period is 30 days after the meeting of the committee.

Submission Levy

First Submission	7,5 x the normal monthly HOA Levy
Second Submission	Half the First submission Levy
Third Submission	Half the first submission Levy
4th Submission	7,5 x the normal monthly Levy
As built Submission	7,5 x the normal monthly Levy

APPOINTMENT OF CONTRACTORS

Builders. Only contractors that are pre-approved and listed on the Clearwater's Cove Approved Contractor's List may work on the development. Contractors may apply to the Clearwater's Cove HOA for approval and to be listed on the approved contractor's list, which will be updated from time to time and made available to home owners through the home owner's association. Contractors to be approved shall include the following:

Contractor Approval

The following is to be submitted accompanied by the completion of Annexure XYZ.

Proof of current registration with the NHBRC

Company Registration Documents

Last financial year Tax Clearance

Last 3 years audited financial statements

A CV which shows work portfolio and current work no later than 3 months prior to submission.

Three testimonials from the last 3 clients.

The CWC HOA will indicate with in 14 days of a suitable date for an in person presentation to the committee, to be held within 100 km of the Estate.

The Builder will be informed with in 7 working days of their acceptance or otherwise by CWC to be on their approved list of Builders.

Sub Contractors

Any sub-contractor pertaining to electrical, plumbing, glazing, painting, paving, roofing, etc. shall be allowed under the approval of Main Building Contractor who will be held responsible for the quality of work and professional conduct of such sub- contractor for that specific project.

All building contractors shall work according to the standards and regulations determined by the National Building Regulations of South Africa. The works may be inspected from time to time by the Clearwater's Cove Building Control Officer who will have the right to either stop the works completely in the event of:

- Construction works clearly deviating from the design and specifications on the approved plans
- Negligence on the part of the contractor regarding safety on site

- Poor quality workmanship
- Untidy site conditions
- Poor contractors conduct

SITE HANDOVER AND PROJECT COMMENCEMENT

The project will commence by conducting a formal site handover to the contractor. This meeting shall be attended by the Clearwater's Cove Building Control Officer to whom copies of the following documents shall be handed for record keeping:

- 1 x copy of the municipal approved plans
- 1 x copy of the JBCC Minor Works Agreement
- 1 x copy of the NHBRC enrolment certificate
- 1 x copy of the structural engineer's drawings and certificate

Building Period

The building period shall be calculated from date of site handover.

The building period shall be 9 months for a house up to 400m², for every 100m² larger a period of one month shall be allowed.

A 3 month weather grace period may be applied for, to the directors in writing in periods of higher than average rainfall. AGM 2023

Building deposits and Levy

A deposit of 5% (five percent) of the value of the build based on the University of Stellenbosch annual building cost evaluation, (Up to R 250 000 – 00.). (It must be noted that any transgression of this document or the builders COC will be deducted from this amount and used to rectify such transgression, the building process will be stopped until such time as the deposit has been reinstated to the value of the original 5% , as stipulated above):

To be submitted on completion of earthworks before commencement of further building:

Engineers certificate that cut and fill is in accordance with submitted plans and specifications.

To be submitted on completion of foundation before commencement of further building:

Foundation inspection
Foundation Engineering certificate
Pest control certificate

To be submitted on completion of each slab before commencement of further building:

Engineers slab certificate.

To be submitted for Final certificate of completion by CWC.

Request for Aesthetic inspection and issuing of Estate Completion certificate.

Builders Monthly Levy

A monthly builders Levy of 2 x the monthly HOA Levy is payable to the Estate for 2 visits per month by the Estate Building Control officer. The Contractor must be on site for such visits. Should the contractor fail to be on site, the site will be closed and the said contractor shall apply in writing to the CWC Aesthetic committee for a new site hand over (Cost of which shall be 3 x monthly Levy and occur within 14 days of site closure). Should any transgression of this document or the builders COC occur requiring more visits by the Building control officer an additional builders monthly Levy shall be levied at 3 x the monthly Estate Levy.

DESIGN REQUIREMENT

BULK

Building Area:

Homes may not be less than 80 square metres in area, excluding garages and may not exceed the coverage requirements stipulated by the Tzaneen Local Authorities. The building footprint may not extend over the building lines which require a free space of 5m on the street facing boundary and 2m free space on all other boundaries. It is compulsory for these building lines to be clearly indicated on the site plan by means of a dotted line for approval.

Building Height:

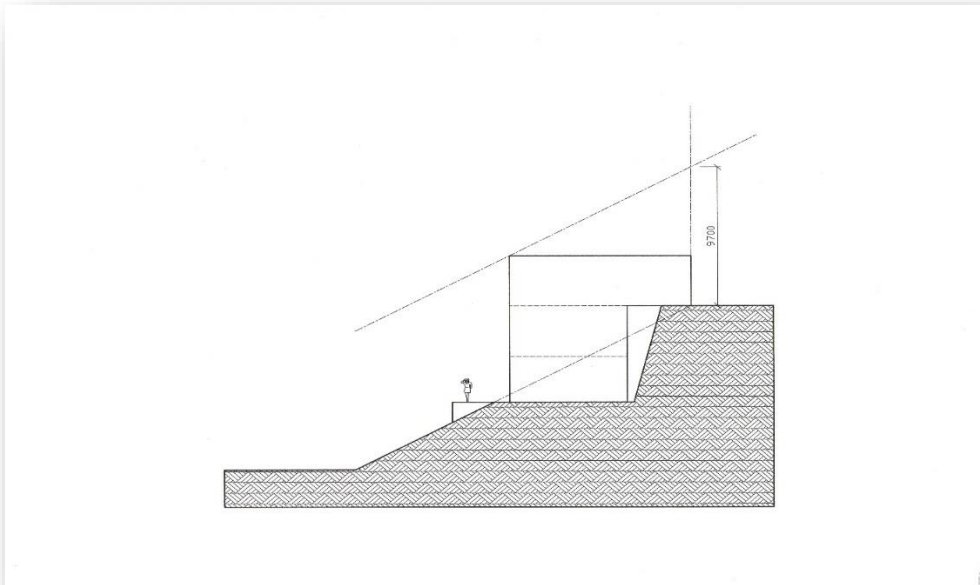
Buildings may not exceed the height of 9.7m projected vertically from original ground level taken on the site (see diagrams 1 and 2 below). It is compulsory that the original ground level and relating parallel height line be indicated by means of a dotted line on all section drawings as indicated in diagrams 1 and 2 below.

Bulk Scale / Form:

Architects must consider the topography of the site and design the building in such a way to ensure that the building on the bottom end of the site does not result in a multiple story flat façade of excessive bulk and scale. Diagram 1 below is a typical example of what is not desirable:

Diagram 1 – Undesirable Bulk

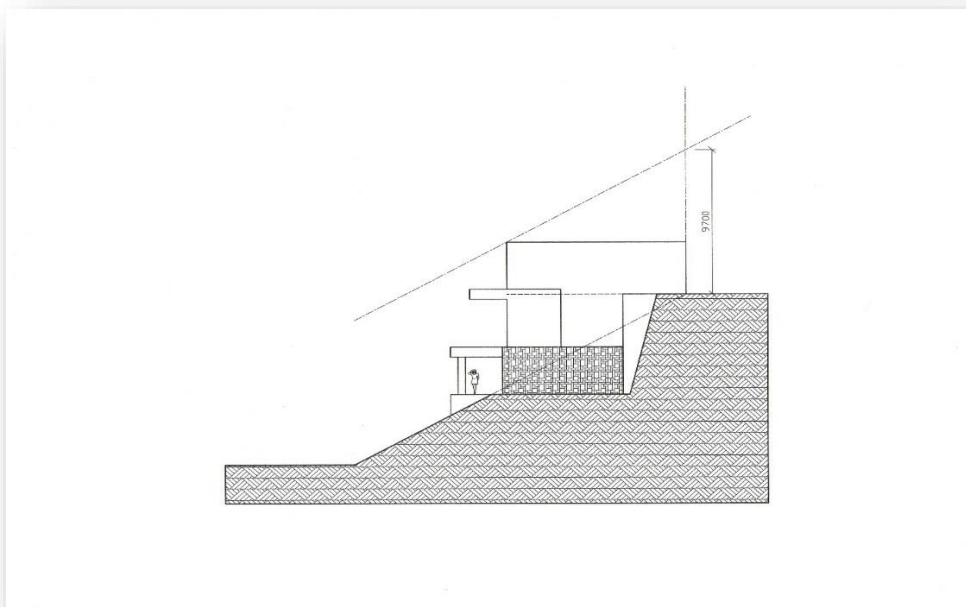
The design requirement is to design the building to respond to the site topography in bulk and form and to break the scale of the building by making use



of mechanisms such as textured surface cladding along the base or lower floors, for example a stone clad plinth and creating protruding patios and balconies.

The typical application of the above aims to break the scale and achieve a more desirable visual bulk of the building as described in diagram 2 below. No flat façade greater than one storey in height will be approved.

Diagram 2 – Desirable Bulk



ROOFS

Roof Height:

All roofs should fit within the required height restriction as stipulated. Roof angles shall be restricted according to the material type used as stipulated below.

Roof Colour:

All Roofs (including facias and gutters):

Dark Dolphin (for Chromadek)

Dove Grey (for Chromadek)

Plascon NUROOF TRP 200 for painted finishes on existing Roof tiles

Plascon NUROOF TRP 210 for painted finishes on existing Roof tiles

"Standard Slate" for new roof tiles

"M11 Charred Slate" for new roof tiles

"M22 Slate" for new roof tiles

Any other colours will need approval from the Aesthetic committee.

Roofing Materials:

The following roofing material will be allowed:

Concrete or Clay roofing tiles – Installed with the following mandatory requirements:

Minimum roof angle = 30deg.

Mandatory use of under tile membrane (Although roof tile manufacturers or roof erectors may not require this membrane above a certain degree of roof slope, it will remain a compulsory requirement for the development due to the high level of moisture content, condensate and wind driven rain that often prevail in the mountain).

No colour variance in roofing tiles in the same building will be allowed.

All tiles must be anchored with brass nails as prescribed by the manufacturer as for coastal conditions to prevent tiles from blowing off.

Chromadeck Sheet Metal Roofs – installed with the following mandatory requirements:

All eaves to be closed – no underside of sheet metal roofs to be visible on the exterior of the building.

Installation of rainwater goods (gutters & down pipes) are compulsory. Facias and horizontal gutters shall be of the same colour – preferably to match the roof colour. Rainwater down pipes shall be painted to match the colour of the exterior walls.

Concrete Flat Roofs – Installed with the following mandatory requirements:

Concrete flat roofs will be allowed, but are advised against due to the climatic conditions of the area.

Must overhang walls by minimum 330mm wherever possible

Must have an integral perimeter concrete up-stand beam of minimum 170mm above top surface of slab.

Must include a minimum 25mm aluminium angle drip detail installed to perimeter of soffit of overhanging concrete slab, installed prior to soffit plaster being applied in order to prevent unsightly staining of underside of slab overhang.

Must be adequately drained by means of min 25mm thick sloped cement screeds installed to slope to 110mm PVC vertical down pipes installed discreetly within service ducting / wall recesses or within wall cavities. Pipes that are visible from the outside shall be painted to match the exterior wall colour.

Must be waterproofed by means of min 4mm thick Derbigum SP4 or similar Thermoflex torch-on waterproofing material installed by specialist and painted with aluminium reflective paint in accordance to manufacturer's specifications.

Designers are reminded to use caution when detailing concrete flat roofs and are reminded of the extreme moisture conditions of the area that may result in vertical water staining of wall and beam surfaces.

Car Ports and Shaded Pergolas – Installed with the following mandatory requirements:

Regulations pertaining roofing materials are as per main roofs.

Shade cloth car ports will be allowed, provided that the installation thereof is done by an approved contractor and it be finished in a neat and ordinate state to be supported by a light weight steel structure. The colour of the shade cloth shall be presented to the Clearwater's Cove Aesthetic Committee for approval before installation.

No vertical shade cloth walls or cladding shall be allowed.

Balconies may be enclosed with roll-up canvas panels, provided that the detail in the rolled up position is tidy.

General requirements pertaining to roofs:

Regardless of the roofing material, it is compulsory that roofs extend over the external walls of the building. No parapet walls, or any other detail where walls extend vertically past roof surfaces will be allowed.

Single roofs and/or roofs over different components of the building may not have different coloured roofs. Material selection and colour must be uniform throughout for the particular building. No mix of materials and colours are allowed.

The use of polycarbonate transparent roof sheets are not allowed.

Where no rainwater down pipes are installed (in the case of tiled roofs), it will be compulsory to install a stone clad plinth to the wall base of minimum 800mm high to disguise any rainwater back splatter and resultant staining of the walls.

WALLS

Foundation and Retaining Walls:

All reinforced concrete foundation or retaining walls shall be designed by a structural engineer.

A boundary wall that is retaining earth be subject to a structural engineer's design.

Vertical waterproofing and sub-soil drainage behind foundation walls and retaining walls to prevent ground water build-up behind the wall are compulsory. Architects shall ensure

proper detailing of such waterproofing and soil drainage on the filled side behind the wall in order to prevent moisture penetration through the walls, resulting in unsightly staining and cracking of wall surfaces along the exterior of the building below floor level and below patios.

A wall constructed on the east face adjacent to the bailiff road be "Loffelstein" construction orf similar with an obligation on the Owner to plant and maintain the wall in a good aesthetic condition.

Superstructure Walls

No vertical wall façade of more than one storey high shall be allowed without receiving a stone clad surface along the base of the wall to visually break the scale of the wall surface. Should a wall extend past this height limitation, the entire area of wall extending down below the top storey is to receive stone cladding which shall extend all the way to natural ground level.

Courtyard and Screen Walls:

All courtyard and screen walls shall be constructed to receive a concrete coping with adequate drip detail to prevent vertical water staining along the wall surface and also to prevent vertical damp penetration from the wall head.

Wall Finishes:

Walls may consist of plastered brick, face brick or timber / fibre cement panelling (in the event of stilted structures).

Wall Colours:

"Castlewood Canyon" (This is Dulux colour)

"Hazelnut O7-D2-1" (This is a Plascon colour)

"Barn Owl O7-E2-3" (This is a Plascon colour)

"Stone Statue O7-E1-4" (This is a Plascon colour)

Any other colours will need approval from the Aesthetic committee.

The colour scheme per building is limited to a maximum of two paint colours to be used in combination with natural stone cladding as may be necessary.

No vertical sheet metal walls or sheet metal wall claddings are allowed.

Concrete Aprons:

Concrete aprons of minimum 0.8m wide are compulsory for all buildings.

Wall Claddings:

Stone cladding on walls shall be limited to natural stone. No artificial stone cladding shall be allowed.

Natural stone may be installed by means of dry stacked bond or flagstone type flat cladding, provided that the material is properly bonded and secured to the wall surface by means of wire ties (in the event of dry stacked bond)

Stone cladding is compulsory to be used as mechanism to break the scale of buildings exceeding one storey in height as described earlier in this document. For buildings of more than one storey, the external exposed walls of the entire bottom floor shall be clad with stone up to the floor level above, or unless otherwise agreed on merit with the Clearwater's Cove Aesthetic Committee.

Compulsory stone cladding on masonry buildings shall cover a minimum of 30% and maximum of 60% of the vertical façade at the high end and two side facades of the building where such building exceeds one storey in height.

All natural stone work shall be properly sealed with a matt stone sealant to prevent the growth of algae and moss.

Differing stone finishes may not be mixed or combined on the same building unless approved by the Clearwater's Cove Building Control Officer on merit in terms of the specific design of the building.

WINDOWS AND DOORS

Material and Treatment

No steel frame windows and doors are permitted.

External windows and doors may consist of aluminium, PVC or wood only. In the event of wood, the windows and doors shall receive a proper sealant prior to installation and shall receive a minimum of two final coats before the building is handed over for occupation.

Wooden windows and door frames shall be protected during construction and sealed as is necessary to prevent new buildings being handed over with unsightly stained and damaged wooden windows and doors. The use of wooden windows and doors are not recommended because of the problems encountered with swelling and high maintenance due to excessive moisture encountered in the area.

The above also applies to garage doors.

The material selection, colour and window type must be uniform per building. No mix of window and door materials is allowed on a single building.

Glazing:

No reflective glass may be used.

All glazing shall comply with the standards as stipulated by the South African Glass and Glazing Association (SAGGA)

Double glazing is highly recommended due to the very cold conditions that are experienced at the Cove

DECKS, PATIOS & BALCONIES

Patios & Balconies:

Patios and balconies are essential building components to be used in the design to break the vertical scale of buildings as stipulated elsewhere in this document.

Attention should be given to the waterproofing of balconies, as well as the disposal of rain water from balconies and raised patios:

For balconies:

It is compulsory for all balconies to be detailed so as to be constructed with an integral concrete up-stand beam of minimum 170mm to prevent surface water run-off against the head end and lower supporting walls and columns below the balcony. Rainwater should be channelled to min. 110mm rainwater outlets from where it can be disposed of in a controlled and organised manner by means of vertical down pipes to daylight at lower levels.

All concrete balconies must be constructed to receive a minimum 25mm aluminium angle drip installed to the perimeter of the soffit and detailed to be installed prior to the soffit plaster in order to avoid unsightly staining to the underside of balconies.

For patios:

Compulsory waterproofing behind foundation or retaining walls below patios need to be detailed and installed.

All patios shall be designed with an overhanging drip detail to avoid unsightly staining of vertical surfaces caused by surface water run-off.

Supporting columns:

The detailing of the capital connection of a column to the underside of any concrete balcony shall be such that the column width does not extend past the perimeter of the balcony at the point of connection, i.e., the balcony must extend sufficiently past the column to allow the column to terminate against the underside of the balcony for its entire width or diameter.

Columns may also be stone clad, but for no more than 30% of the column height.

Due to the individual aesthetic detailing of each project, the basic requirements pertaining to balconies and patios relate mainly to the prevention of water staining that usually results from poor detailing. Should a particular detail proposed differ from what has been prescribed, it will be evaluated on merit based on motivation by the Architect.

Timber Decks:

Timber decks shall be designed and constructed by a specialist.

All decking supporting sub structure (posts, bearers and joists) shall consist of either class H4 CCA treated S.A. pine or gum pole timber, stained and varnished to match the deck colour, or steel painted to match the wood as close as possible. All gum pole timber components should carry the SABS mark of approval and conform to the limitations of crack lengths and splitting. All pole ends must receive the appropriate gang nail in accordance to the pole diameter.

Decking material may consist of either natural hardwood timber or artificial extruded fibre decking. No SA pine decking will be allowed.

All decks shall have a trimmer detail around the entire deck perimeter of minimum 150mm to hide head ends of joists.

All stilted decks shall be adequately braced against lateral movement and wind loads and need to be signed off by a structural engineer.

Balustrades:

Balustrades may be constructed from painted steel, stainless steel, timber or glass.

No prescribed balustrade detail exists, however it is compulsory that the type and design detail of balustrades on the same building must conform to the national building regulations shall apply

c. Balustrades:

Balustrades may be constructed from painted steel, stainless steel, timber or glass.

No prescribed balustrade detail exists, however it is compulsory that the type and design detail of balustrades on the same building must conform to the following requirements:

- Regulatory compliance:
 - All regulations pertaining to safety as prescribed by the national building regulations shall apply
- Uniformity:
 - No mix of balustrade material, layout, design or detail may exist in a single building.

Where balustrades are fixed to concrete or masonry by means of bolted connection, care must be taken in the detailing to prevent rust and related stain marks appearing on the exterior façade of the building.

Uniformity:

No mix of balustrade material, layout, design or detail may exist in a single building.

Where balustrades are fixed to concrete or masonry by means of bolted connection, care must be taken in the detailing to prevent rust and related stain marks appearing on the exterior façade of the building.

EXTERNAL SERVICES AND INSTALLATIONS

Sewer and Drainage:

Sewer and drainage pipes must be hidden from sight or neatly contained within wall recesses or ducts and must be painted to match the wall colour.

Air Conditioners Satellite Dishes and Solar Water Heaters:

Buildings must be designed so as to hide the condenser units and related service piping for split air conditioners from sight. If the visibility of surface trunking cannot be avoided, it shall be painted to match the wall colour. The above shall only be approved in extreme cases or on existing buildings where the design can no longer be altered to hide the services. The same applies to satellite dishes. No loose wires and cabling shall be allowed to be visible from the outside.

The same also applies to solar water heaters, externally mounted electrical geysers and heat pumps, for which the requirements will be the same as for air conditioners.

Washing Lines:

Washing lines must be hidden from sight and contained within courtyard screen walls.

Boundary Walls and Gates

Boundary walls may only consist of panels installed in between brick or concrete columns with a concrete coping, or alternatively plastered brick walls with thickened wall piers with concrete coping .

Boundary walls may not be higher than 1.8m.

All gates to consist of either dark wood installed on steel frame, or painted steel frame with either lattice or slatted detail. No themed, profiled or flat sheet metal panelling (brass or otherwise) on gates shall be allowed.

As only alternative to boundary walls, Cochrane security fencing may also be used, provided that the following conditions are strictly adhered to:

- That it be installed by an approved and certified specialist and according to the manufacturer's specifications, with posts planted perfectly upright and cast in concrete
- That no concrete foundation be visible above ground

- That only original Cochrane “Parkland” components be used, finished with Marine Fusion Bond Coating:

d. Boundary Walls and Gates

Boundary walls may only consist of palisade panels installed in between brick or concrete columns with a concrete coping, or alternatively plastered brick walls with thickened wall piers with concrete coping.

Boundary walls may not be higher than 1.8m.

All gates to consist of either dark wood installed on steel frame, or painted steel frame with either lattice or slatted detail. No themed, profiled or flat sheet metal panelling (brass or otherwise) on gates shall be allowed.

As only alternative to boundary walls, Cochrane security fencing may also be used, provided that the following conditions are strictly adhered to:

- 1) *That it be installed by an approved and certified specialist and according to the manufacturer's specifications, with posts planted perfectly upright and cast in concrete*
- 2) *That no concrete foundation be visible above ground*
- 3) *That only original Cochrane "Parkland" components be used, finished with Marine Fusion Bond Coating:*
 - *85mm posts, tapering to 45mm with depth of 85mm*
 - *UV stabilized polymer post caps*
 - *fencing panels as described below*
- 4) *That the maximum height be limited to 2m*
- 5) *That it only be allowed for free standing fencing and not to be installed on to buildings (i.e. to close off verandas etc.)*
- 6) *That, unless the fence is purposely intended to fit in between brick piers (as for the palisade fence), it not be varied in detail with any other material along any single boundary line (i.e. that uniformity of detailing be achieved along any boundary length)*
- 7) *That the slope of the land be accommodated in the form of stepped panels installed perfectly upright and not sloped at the gradient of the land (i.e. all posts must be installed perfectly vertical – not perpendicular to the land.)*
- 8) *All openings below fencing installed on gradients be closed off with a low wall that will form the base of the fence (i.e. no "in fill" fencing of any kind to be used to close off openings along the base of the fence)*
- 9) *That it only be allowed under the condition that all fence components be coated with a rust resistant "Marine Fusion Bond" coating as per Cochrane products, colour "Anthracite Grey".*
- 10) *That the fence panel aperture be horizontally oriented with minimum fence aperture 76.2mm horizontal and 25mm vertical dimensions with 3mm wire diameter. The maximum fence panel width is 3.297m.*

Paving:

All driveways and external walkways shall be paved. All paving to be laid on well prepared and compacted substrate material in order to prevent sagging and unsightly heaving of paved surfaces.

All paving to receive a proper edge kerb in the form of either of the following:

Precast garden kerb

Precast roll-over kerb

Precast vehicle kerb

Header course laid in concrete bed

Due to the steep gradients and sharp vehicle turning circles on driveways, it is advised that only interlocking pavers be used of which the surface should be least slippery when wet.

Exterior Lighting:

Exterior lighting shall be detailed as to be least obtrusive to the neighbours and towards the road. No spotlights may be installed to shine in to a neighbouring property or in to the road.

Sculptures and Ornaments:

No sculptures and gate ornamentation are allowed.

Gardening.

A full landscaping and Gardening plan is to be submitted with final building plans.

Occupation Certificate.**Process before submission**

The municipality will not issue an occupation certificate unless the HOA have issued a Completion and Compliance Certificate.

Copies of all documentation required for submission to CWCHOA and the Tzaneen Municipality in order to obtain an occupation certificate (Annexure F) must be handed into the CWCHOA office, before 12h00 on a Monday.

On receipt of the above documentation CWCHOA will proceed to check all documentation and arrange, with the builder for a final site inspection on the Wednesday, between 08h00 and 15h30.

Should all be in order CWCHOA will stamp all documentation and issue a HOA Estate Completion Certificate by 08h30 on Friday morning.

The documentation can now be submitted to the municipality.

Process after submission

It is the responsibility of the Owner/Builder/Architect to submit a properly issued Municipal Occupation Certificate as obtained from the municipality, to the CWCHOA, for owner occupation.

Deposit will be repaid 14 days after copy of Municipal Occupation Certificate is handed into CWCHOA offices.

No occupation of any building within the development will be allowed until such time as a valid Municipal Occupation Certificate has been handed in to the CWCHOA offices.